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## INFORMATIONAL PACKAGE

# RESIDENTIAL BUILDING ADDITIONS (INCLUDING ATTACHED GARAGES)

**Prepared By:**  
**City of Estevan**  
**Land Development Services**

<p style="text-align: center;"><b>RESIDENTIAL ADDITIONS</b> <b>(including attached garages)</b> <b>Application Requirements &amp; Regulatory Standards</b></p>
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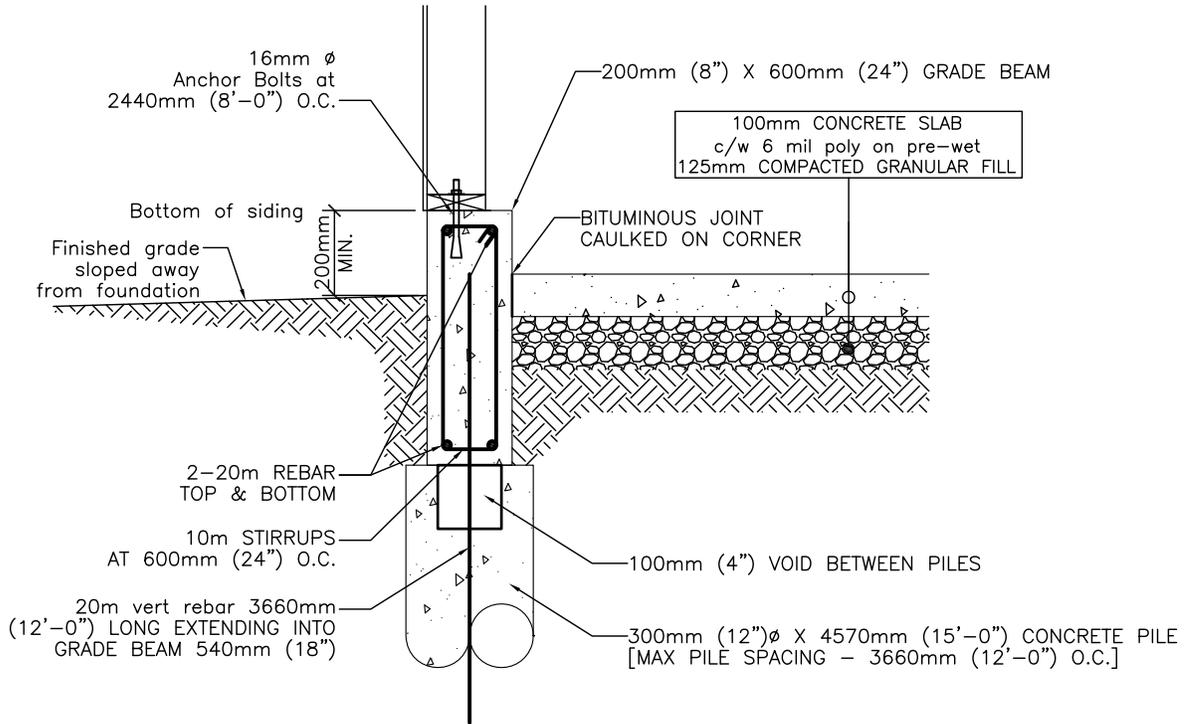
1. All residential additions require a building permit issued by the City.
2. Residential Additions are subject to the setback/lot coverage requirements as illustrated on the attached Plan #1. All setback distances are to be measured from building foundation to legal property lines. The applicant/owner is responsible for verifying all property line building placement locations, as well as the location or existence of any utilities or easements on the property.
3. Foundation requirements:
  - Foundations for Residential Additions must either have:
    - Strip footing and piers constructed below frost line; or
    - Pile and Grade beam design constructed in accordance with the City foundation standard [for attached garages] shown on Figure 2;
    - Pile and Grade beam design constructed in accordance with the City foundation standard [for residential living spaces] shown on Figure 3;
    - Foundation Design prepared and sealed by a Professional Engineer or Architect registered in the Province of Saskatchewan.
4. Residential Addition Requirements/Limitations
  - Must comply with all requirements of the City of Estevan **Building Bylaw #2004-1662 and National Building Code (1995)**
  - Roof Drainage: Eave downspouts shall be positioned, and grading around the building foundation shall be provided to ensure that all roof drainage is being directed off the site without discharging or negatively impacting onto adjacent private property (see City typical grading guidelines).
5. Framing: A typical wall opening detail is attached for reference.

**Building Permit Application Requirements**

1. Please complete, sign, and date a building permit application form. Please also complete the section identifying the estimated value of construction inclusive of the cost of all building components and labor.
  2. Please complete and submit the attached form 1.
  3. The following is a list of plans that are typically required in support of an application. Typical information to be shown on the plans is listed, but other information may be added to fully describe the proposed construction. Depending on the project, some of the plans may not be required.
    - Site Plan**-showing all existing structures and the proposed addition on the site (an example site identifying what information is required is attached for reference).
    - Foundation plan**-must indicate overall size of foundation, size and location of footings, piles, foundation walls, size and location of openings for doors, windows, foundation drainage;
    - Structural Plan**-to show size, material, and location of all structural components including floor trusses, roof trusses, joists, framing, etc.
    - Elevations and Cross Sections**-sides and cut through views of building including, stair assemblies, exterior finishing materials, finished grade elevation, size and location of doors, windows, etc.
    - Mechanical Plan**-description and location of heating, ventilating and air conditioning components, size and location of ductwork, location of plumbing fixtures.
    - Electrical Plan**-type and location of lighting, electrical panels, smoke alarms.
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**FIGURE 2 (BUILDING BYLAW-#2004-1662-APENDIX 'D')**

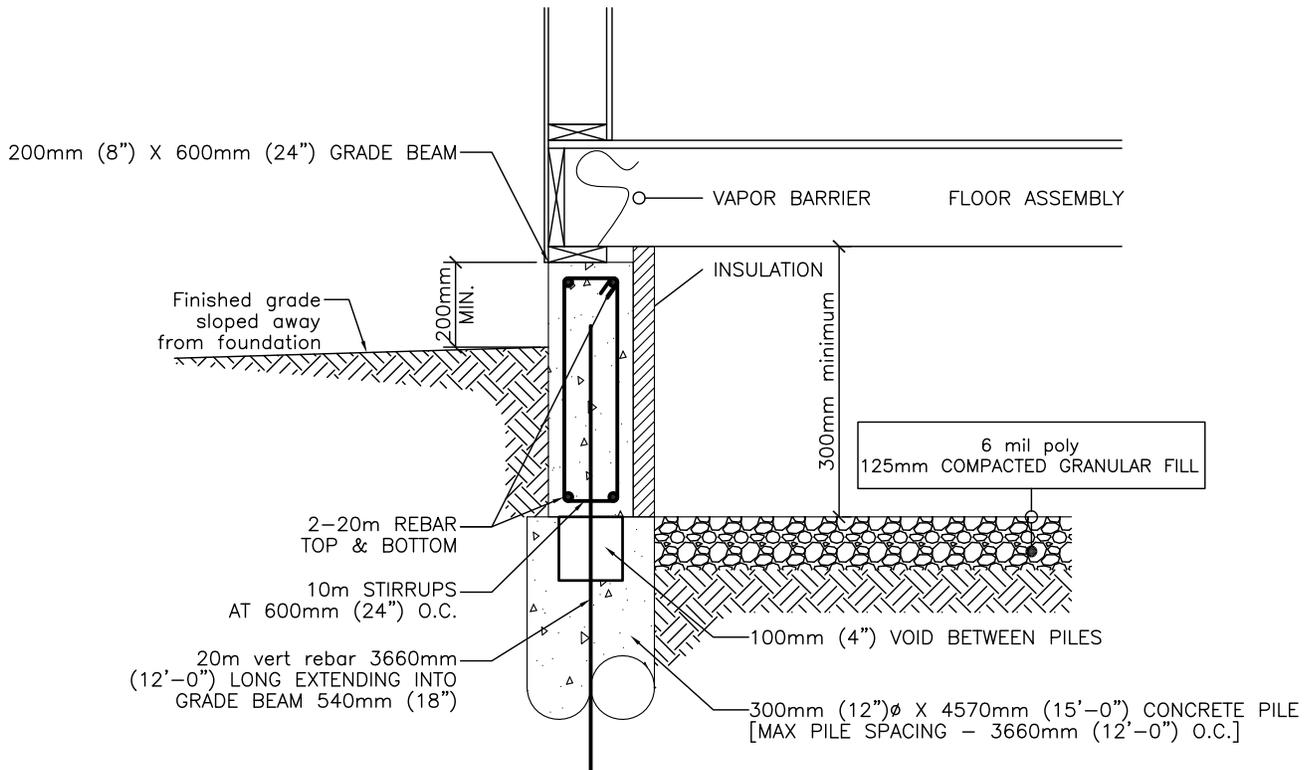

**CITY OF ESTEVAN**  
**PILE & GRADE BEAM (TYPICAL)**  
**(APPLICABLE TO ATTACHED GARAGES)**



NOTE: CONCRETE TO BE TYPE 50 AT MINIMUM 25MP<sub>a</sub> W/ 5 TO 8% AIR ENTRAINMENT

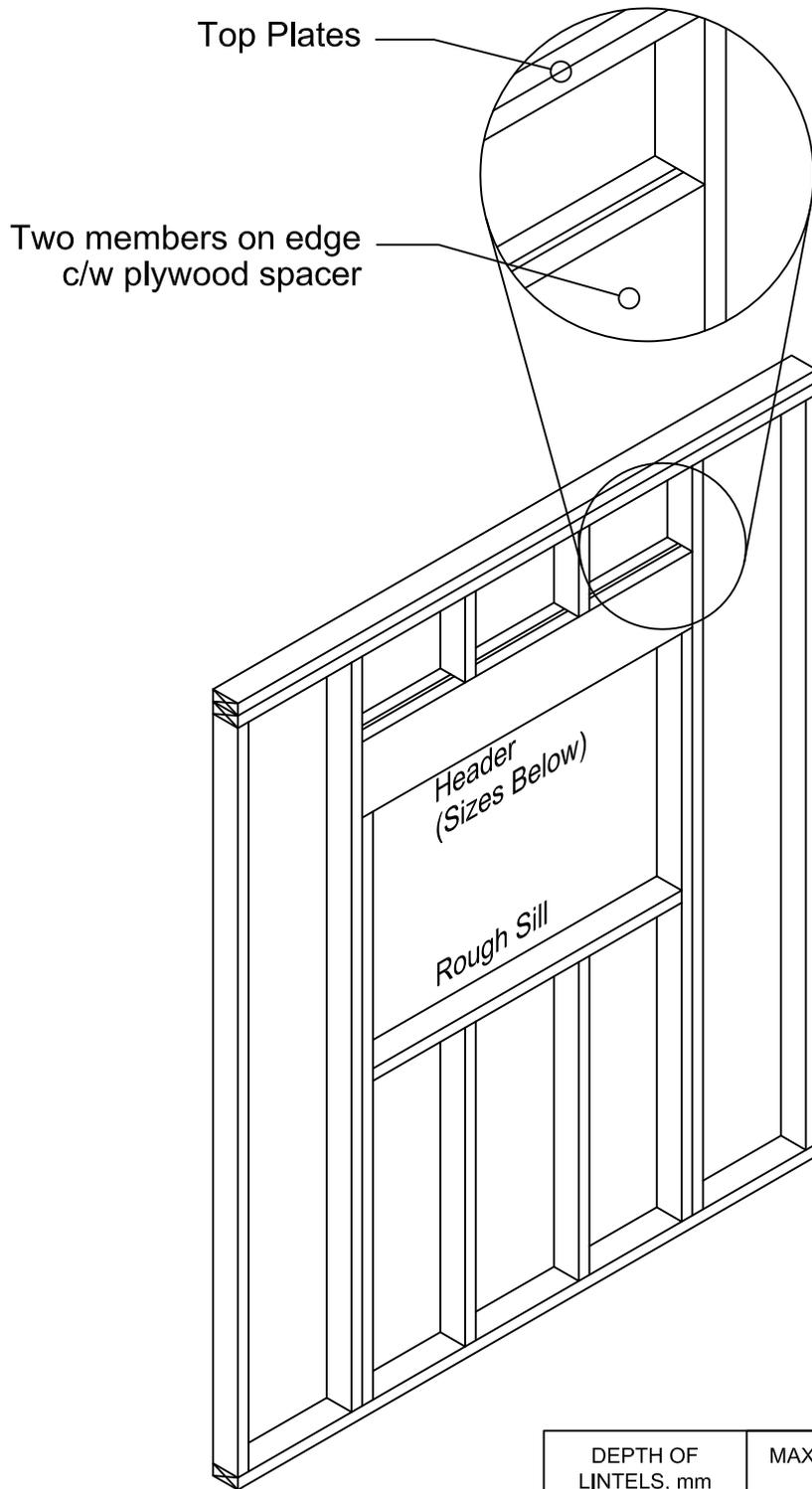
**FIGURE 3 (BUILDING BYLAW-#2004-1662-APENDIX 'F')**


**CITY OF ESTEVAN**  
**PILE & GRADE BEAM (TYPICAL)**  
**[APPLICABLE TO RESIDENTIAL DWELLING ADDITIONS (LIVING SPACE)]**



NOTE: CONCRETE TO BE TYPE 50 AT MINIMUM 25MP<sub>a</sub> W/ 5 TO 8% AIR ENTRAINMENT

# TYPICAL WALL OPENING



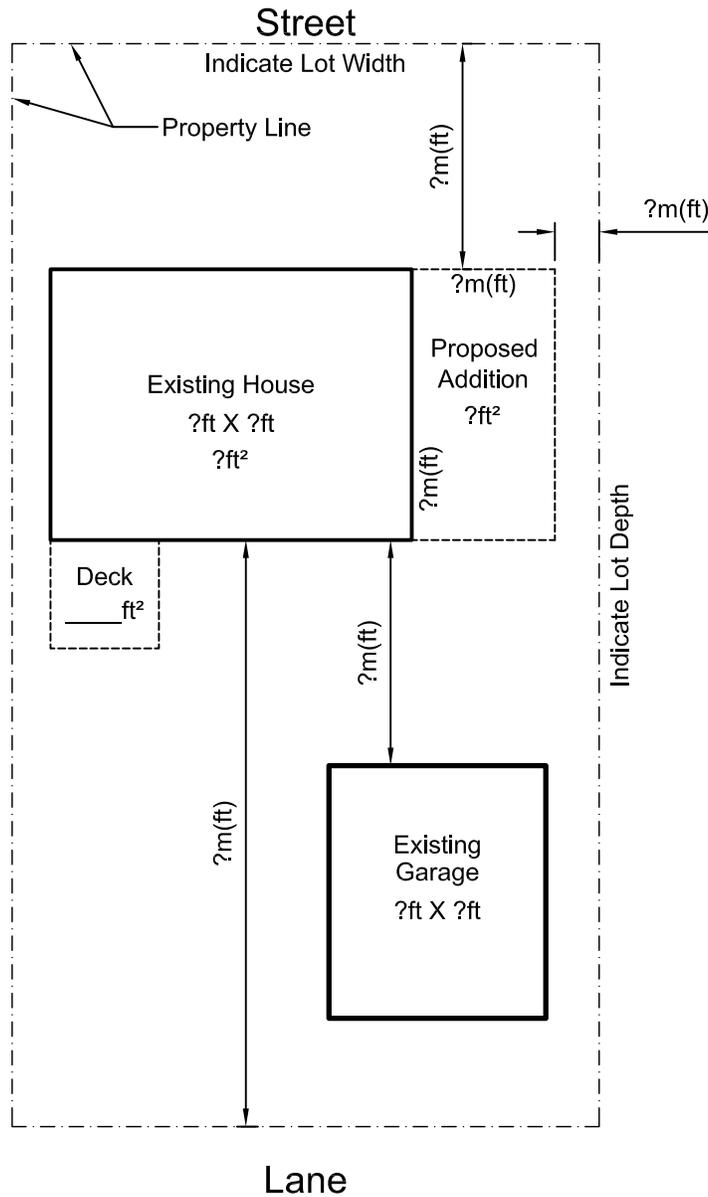
		DEPTH OF LINTELS, mm	MAXIMUM ALLOWABLE SPANS, mm
EXTERIOR WALLS	ROOF WITH OR WITHOUT ATTIC ABOVE	89	1120
		140	1680
		184	2240
		235	2790
		286	3350
	ROOF WITH OR WITHOUT ATTIC PLUS ONE FLOOR ABOVE	89	560
		140	1400
		184	1960
		235	2240
		286	2510

**This is a sample site plan for reference puposes. A site plan is to be submitted with the application and should show the following information.**

1. Lot size (Width & Depth)
2. Existing house size and placement on the site
3. Existing size and placement of other structures (i.e. decks, garages, etc.)
4. Proposed setbacks of the addition from all structures and propert lines.
5. Proposed size of Addition (Door/Window sizes and locations).

Lot: \_\_\_\_\_  
 Block: \_\_\_\_\_  
 Plan: \_\_\_\_\_

Name: \_\_\_\_\_  
 Civic Address: \_\_\_\_\_



\*IT IS THE RESPONSIBILITY OF THE OWNER TO LOCATE ALL UTILITY LINES AND EASEMENTS

**CITY OF ESTEVAN – LAND DEVELOPMENT SERVICES**

**THIS FORM IS TO BE COMPLETED BY BUILDING PERMIT APPLICANT FOR CONSTRUCTION OF AN ADDITION TO A RESIDENTIAL DWELLING**

**Proposed Addition Use;**

Attached Garage                       Residential Living Space

**Proposed Foundation:** (Please check the box which applies)

City Standard (figure 2- For Attached Garage)  
or  
 City Standard (figure 3- For Attached Living Space)  
or  
 Other (Please attach detailed foundation design plan. Plan must be stamped by a Professional Engineer.)

**Wall Construction:**

Stud size: \_\_\_\_\_ X \_\_\_\_\_ @ \_\_\_\_\_ (O.C) Wall Height: \_\_\_\_\_

Exterior Sheathing: \_\_\_\_\_ Sheathing Paper type: \_\_\_\_\_

Type of Siding: \_\_\_\_\_

Wall openings: No. of windows \_\_\_\_\_

Window Sizes: \_\_\_\_\_ length X \_\_\_\_\_ width

\_\_\_\_\_ length X \_\_\_\_\_ width

No. of man doors \_\_\_\_\_ Door Sizes: \_\_\_\_\_ length X \_\_\_\_\_ width

Insulation Value: \_\_\_\_\_ Vapor Barrier Description: \_\_\_\_\_

\_\_\_\_\_ Gypsum Wallboard/Other(describe) \_\_\_\_\_

**Floor Assembly:**

Floor Joist; \_\_\_\_\_ X \_\_\_\_\_ at \_\_\_\_\_ O.C or  Pre-Engineered Floor Trusses (provide plan)

**Roof Eave:**

Eave Projection:  457mm (18") or  607mm (24") or  other \_\_\_\_\_

**Roof Construction:**

Roof Slope: \_\_\_\_\_/12

Roof Covering Material: \_\_\_\_\_

Sheathing Description: \_\_\_\_\_

Insulation Value: \_\_\_\_\_

Truss Size: \_\_\_\_\_ X \_\_\_\_\_ @ \_\_\_\_\_ O.C.

or

Pre-Engineered Roof Trusses (provide plan)

**Roof drainage:**

Pre-finished Eave/Downspout       Other (please describe) \_\_\_\_\_

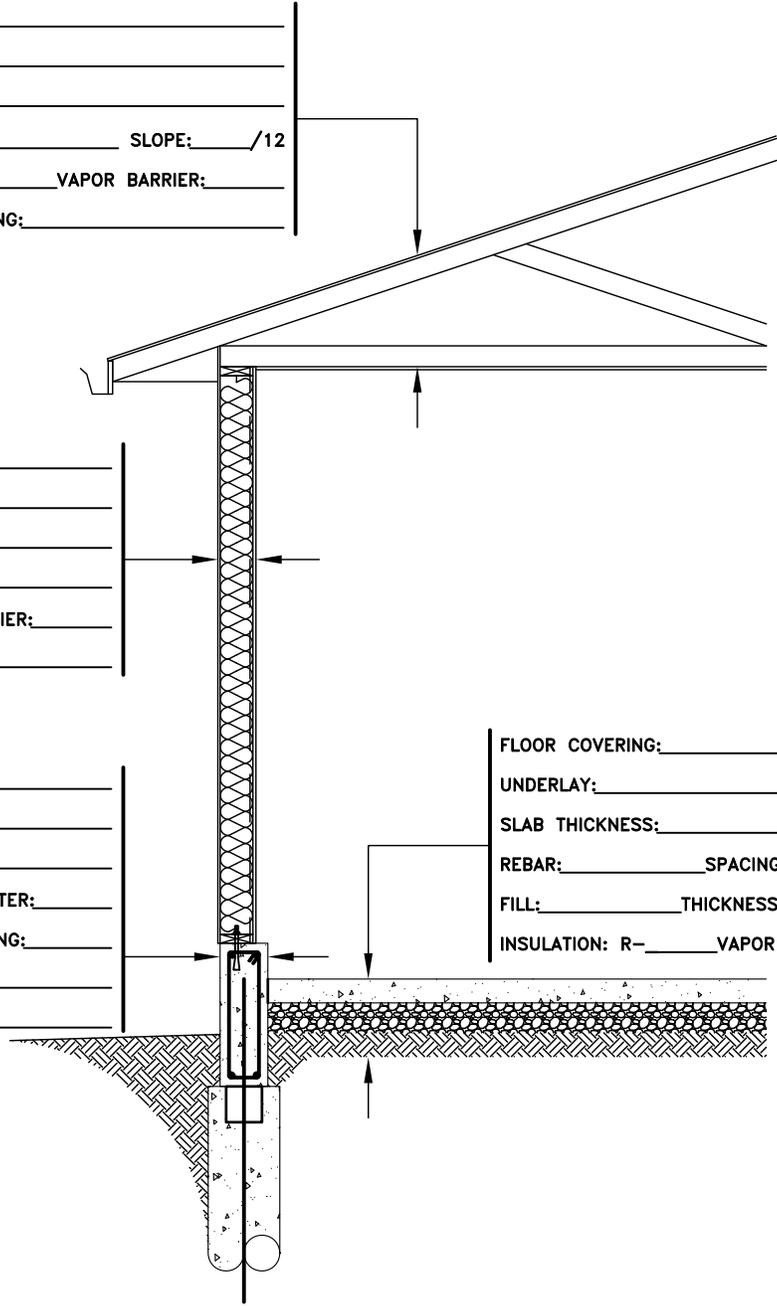
(This form is to be completed and submitted with a complete building application form and supporting Foundation plan, Floor plan, Structural Plan, Electrical Plan and Mechanical Plan)

ROOF COVERING: \_\_\_\_\_  
 ROOFING PAPER: \_\_\_\_\_  
 SHEATHING: \_\_\_\_\_  
 TRUSS SPACING: \_\_\_\_\_ SLOPE: \_\_\_\_\_/12  
 INSULATION: R-\_\_\_\_\_ VAPOR BARRIER: \_\_\_\_\_  
 INTERIOR COVERING: \_\_\_\_\_

EXTERIOR FINISH: \_\_\_\_\_  
 EXTERIOR SHEATHING: \_\_\_\_\_  
 BUILDING WRAP: \_\_\_\_\_  
 FRAMING: \_\_\_\_\_ SPACING: \_\_\_\_\_  
 INSULATION: R-\_\_\_\_\_ VAPOR BARRIER: \_\_\_\_\_  
 INTERIOR COVERING: \_\_\_\_\_

GRADE BEAM SIZE: \_\_\_\_\_ X \_\_\_\_\_  
 REBAR: \_\_\_\_\_  
 STIRRUPS: \_\_\_\_\_ SPACING: \_\_\_\_\_  
 PILE SPACING: \_\_\_\_\_ DIAMETER: \_\_\_\_\_  
 ANCHOR SIZE: \_\_\_\_\_ SPACING: \_\_\_\_\_  
 INSULATION: \_\_\_\_\_ R- \_\_\_\_\_  
 VAPOR BARRIER: \_\_\_\_\_

FLOOR COVERING: \_\_\_\_\_  
 UNDERLAY: \_\_\_\_\_  
 SLAB THICKNESS: \_\_\_\_\_  
 REBAR: \_\_\_\_\_ SPACING: \_\_\_\_\_  
 FILL: \_\_\_\_\_ THICKNESS: \_\_\_\_\_  
 INSULATION: R-\_\_\_\_\_ VAPOR BARRIER: \_\_\_\_\_



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**CITY OF ESTEVAN**  
 Land Development Services

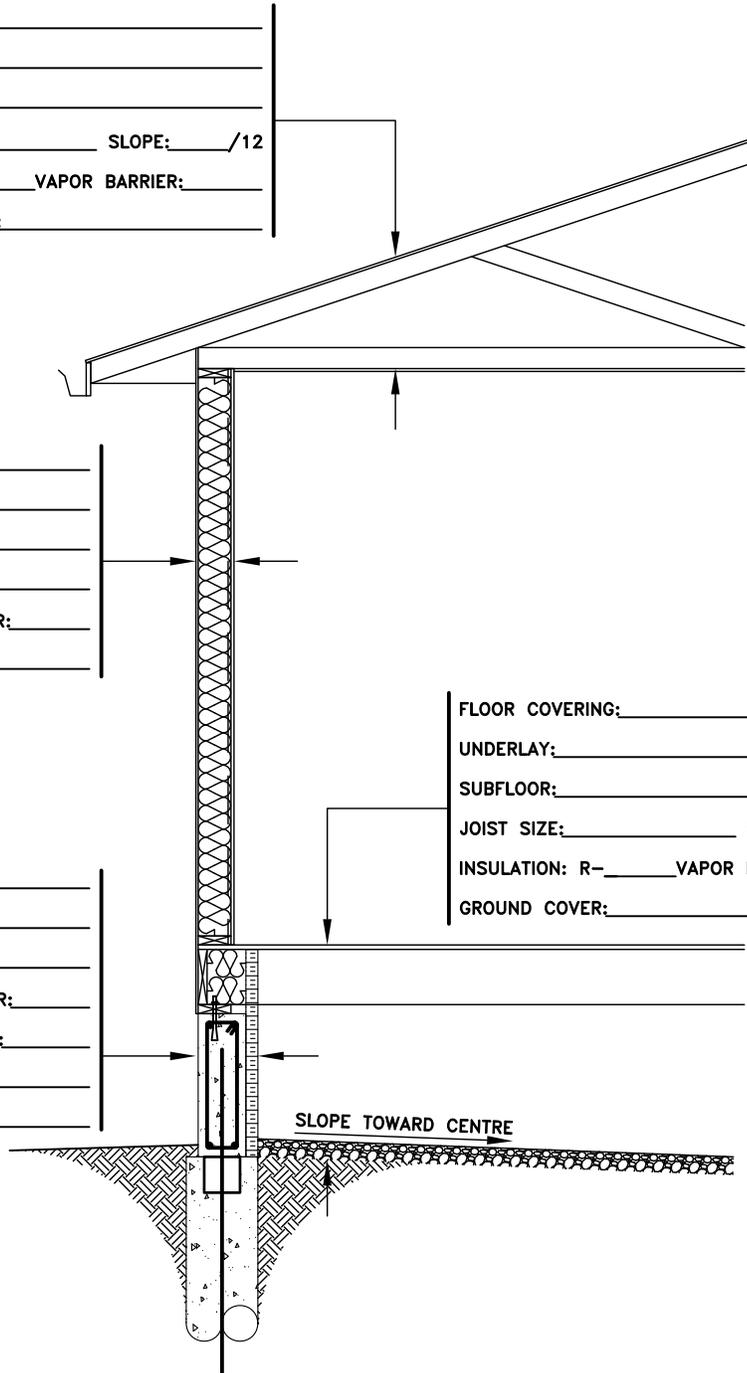
**TYPICAL CROSS SECTION FOR  
 ATTACHED GARAGES AND  
 DETACHED BUILDINGS >10m WIDE**

ROOF COVERING: \_\_\_\_\_  
 ROOFING PAPER: \_\_\_\_\_  
 SHEATHING: \_\_\_\_\_  
 TRUSS SPACING: \_\_\_\_\_ SLOPE: \_\_\_\_\_/12  
 INSULATION: R-\_\_\_\_\_ VAPOR BARRIER: \_\_\_\_\_  
 INTERIOR COVERING: \_\_\_\_\_

EXTERIOR FINISH: \_\_\_\_\_  
 EXTERIOR SHEATHING: \_\_\_\_\_  
 BUILDING WRAP: \_\_\_\_\_  
 FRAMING: \_\_\_\_\_ SPACING: \_\_\_\_\_  
 INSULATION: R-\_\_\_\_\_ VAPOR BARRIER: \_\_\_\_\_  
 INTERIOR COVERING: \_\_\_\_\_

GRADE BEAM SIZE: \_\_\_\_\_ X \_\_\_\_\_  
 REBAR: \_\_\_\_\_  
 STIRRUPS: \_\_\_\_\_ SPACING: \_\_\_\_\_  
 PILE SPACING: \_\_\_\_\_ DIAMETER: \_\_\_\_\_  
 ANCHOR SIZE: \_\_\_\_\_ SPACING: \_\_\_\_\_  
 INSULATION: \_\_\_\_\_ R-\_\_\_\_\_  
 VAPOR BARRIER: \_\_\_\_\_

FLOOR COVERING: \_\_\_\_\_  
 UNDERLAY: \_\_\_\_\_  
 SUBFLOOR: \_\_\_\_\_  
 JOIST SIZE: \_\_\_\_\_ SPACING: \_\_\_\_\_  
 INSULATION: R-\_\_\_\_\_ VAPOR BARRIER: \_\_\_\_\_  
 GROUND COVER: \_\_\_\_\_



**CITY OF ESTEVAN**  
 Land Development Services

STAMP:

**TYPICAL CROSS SECTION FOR  
 RESIDENTIAL ADDITIONS**

# IMPORTANT NOTICE

## INSPECTIONS

### For Residential Additions (including attached garages)

*Please be advised of the following inspections which the City of Estevan requires to carry out to ensure buildings are constructed in accordance with approved plans and specifications:*

**Foundation Inspection:** Piles, grade beam, slab on grade including reinforcing steel must be inspected before concrete being poured. *(Owner/Contractor is responsible for providing on-site verification of property lines and setbacks).*

**Pre-Backfill** *(where applicable):* Prior to foundation being backfilled.

**Framing Inspection:** When structure is framed and sheathed.

**Insulation/Vapor Barrier** *(Where applicable):* Prior to interior boarding.

**Final Inspection:** Upon substantial completion of the structure including all interior and exterior works.

**NOTE: IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO CONTACT THE CITY OF ESTEVAN TO ARRANGE INSPECTIONS AT THE VARIOUS STAGES OF CONSTRUCTION.**

**PLEASE PROVIDE THE CITY OF ESTEVAN A MINIMUM OF 24 HOURS PRIOR NOTICE FOR ANY INSPECTION**

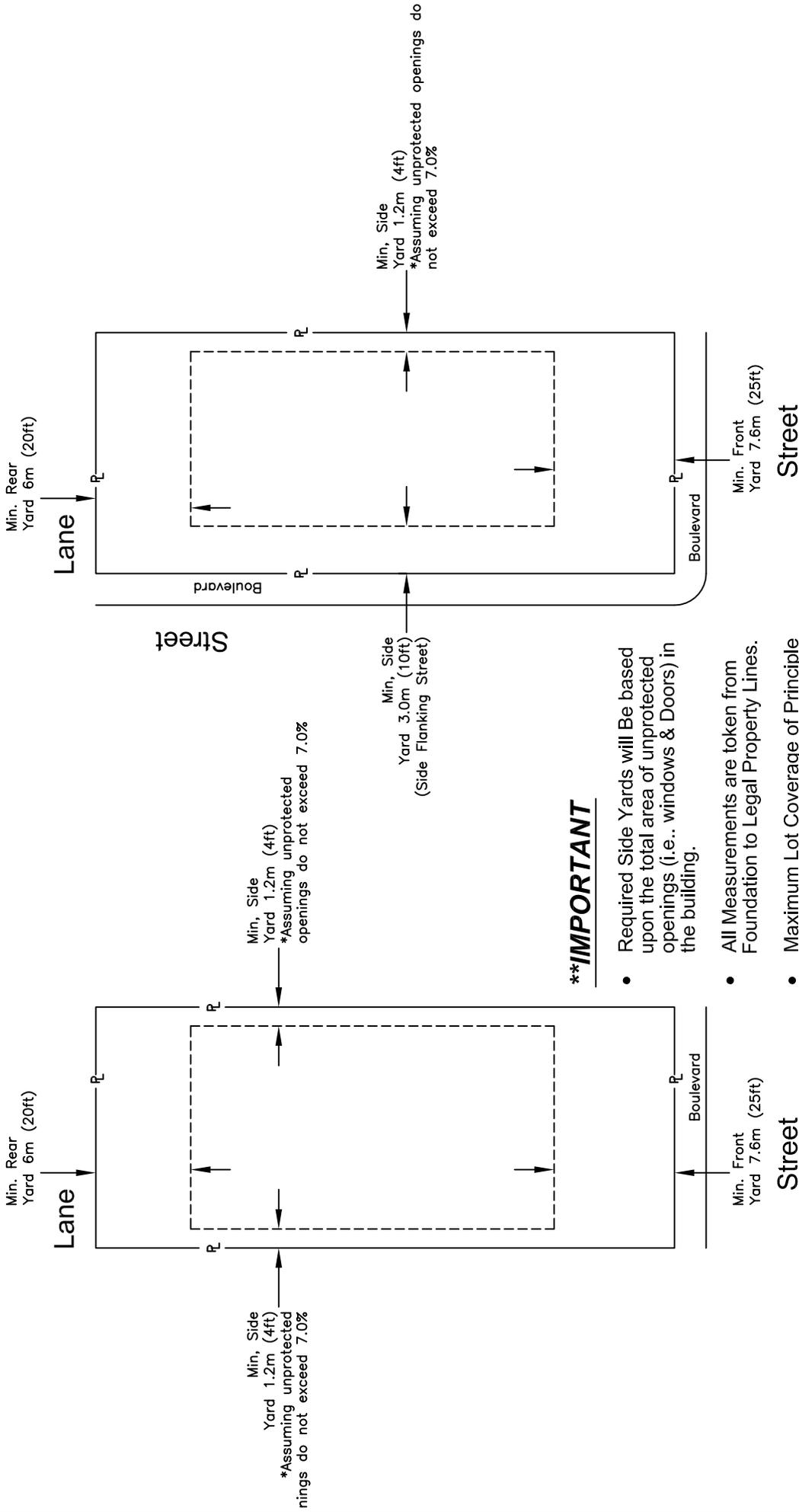
**PLEASE CALL THE CITY BUILDING OFFICIAL 634-1819**

\*Proponents should further contact the respective authorities for any required inspections of heating or electrical works within the building.

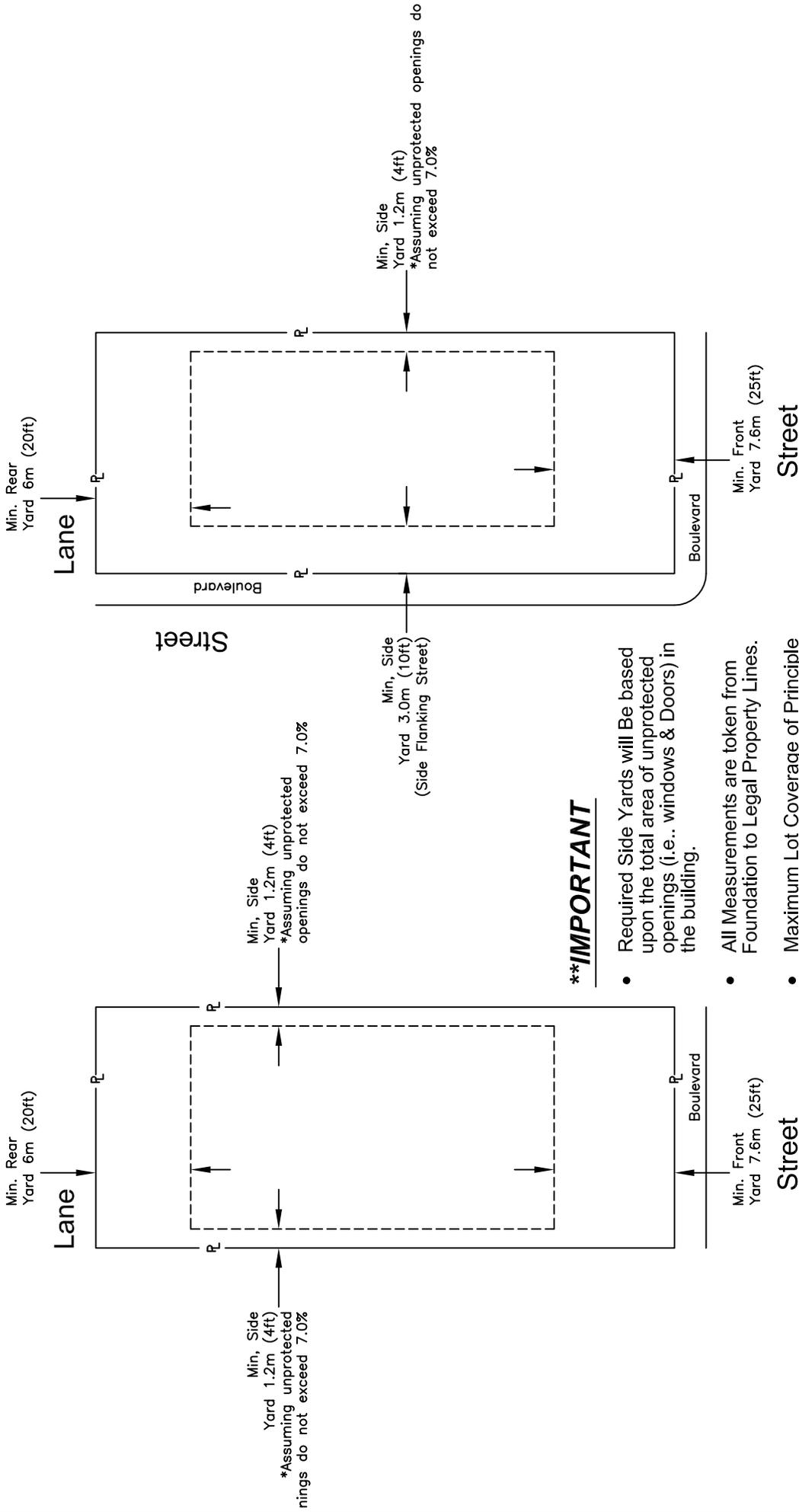
\*Proponents are further responsible for contacting respective utility companies concerning the location of any utilities or easements on the site.

# Zoning Regulations for Single Family Residential Dwellings

## Standard Lot



## Corner Lot



### **\*\*IMPORTANT**

- Required Side Yards will Be based upon the total area of unprotected openings (i.e.. windows & Doors) in the building.
- All Measurements are taken from Foundation to Legal Property Lines.
- Maximum Lot Coverage of Principle and accessory building=50%



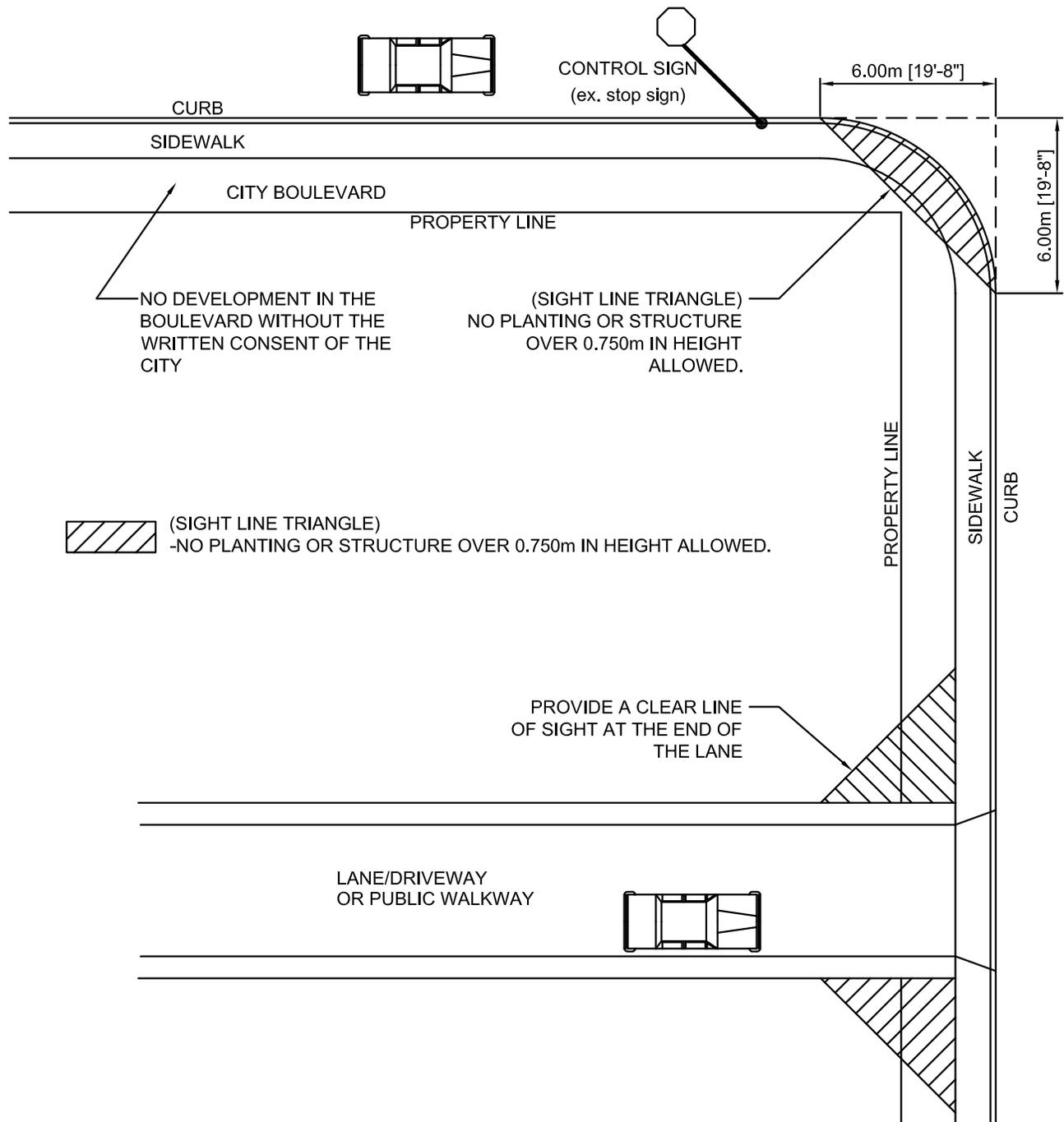
# INTERSECTION SIGHT LINE RESTRICTIONS

Property owners on corner lots are reminded that there is a restricted area, noted on the drawing below, where no plantings or structures (such as fences) higher than 750mm (2'-6") are allowed.

There is also a restriction at alleys, driveways, and walkways.

**PURPOSE:** To provide a clear line of sight for motorists or pedestrians approaching a street intersection or exiting from driveways, walkways or alleys onto the street.

No development in the city boulevard is allowed without the express written consent of Land Development Services.



**LOT GRADING & LEVELING STANDARDS APPLICABLE TO RESIDENTIAL SINGLE  
FAMILY & DUPLEX DWELLINGS**

1. All lot developments shall conform to approved finished lot landscaping grade elevation(s) inclusive of the finished landscaping grade around the building foundation, as well as any finished landscaping grades which may be established and/or assigned at the front and rear comers of the lot, or at any other specified location on or along the site.
2. Lot Grading and leveling shall be carried out around the perimeter of the building to provide for a continuous down-slope away from the approved finished landscaping grade at the foundation wall.
3. All intermediate grading between the finished landscaping grade (*at the building foundation*) and the finished landscaping grade (*at the front/rear property line*), shall be carried out so as to provide for continuous surface drainage off the site.
4. The respective Lot owner shall at all times be responsible for maintaining the approved finished lot landscaping grade elevations, and the following shall further apply;
  - 4.1. Lot grading and leveling shall be undertaken so as to provide for surface drainage off the site into adjacent public rights-of-way and/or designated drainage easements, without negatively impacting upon or adversely effecting abutting private property.
  - 4.2. Driveways, walks, steps, patios, fences, and all other such ancillary structures or features shall be so constructed or located so as not to interfere or impede surface drainage off the site.
  - 4.3. Unless otherwise approved by the City, grading and leveling along the side yards of the lot shall be undertaken to provide for a common surface drainage swale extending along the side property lines which directs surface runoff to the front and/or rear of the lot without impacting upon the abutting property (*retaining walls and similar structures are subject to the prior approval of the City*).
5. Where a lot has a surface drainage easement/right-of-way registered thereon, the Lot owner shall ensure that the easement/right-of-way is maintained to assigned grade elevations, and is further kept free and clear of any obstructions which may impede or restrict the flow of surface water.
6. Prior to a final inspection being carried out by the City, the Development proponent/Lot owner shall ensure the lot has been properly graded and leveled to the approved finished lot landscaping grades, and as part of the final inspection to be carried out by the City Building Inspector, the Lot owner shall be responsible for establishing the necessary bench marks on the site in order for the finished lot landscaping grades to be readily determined.

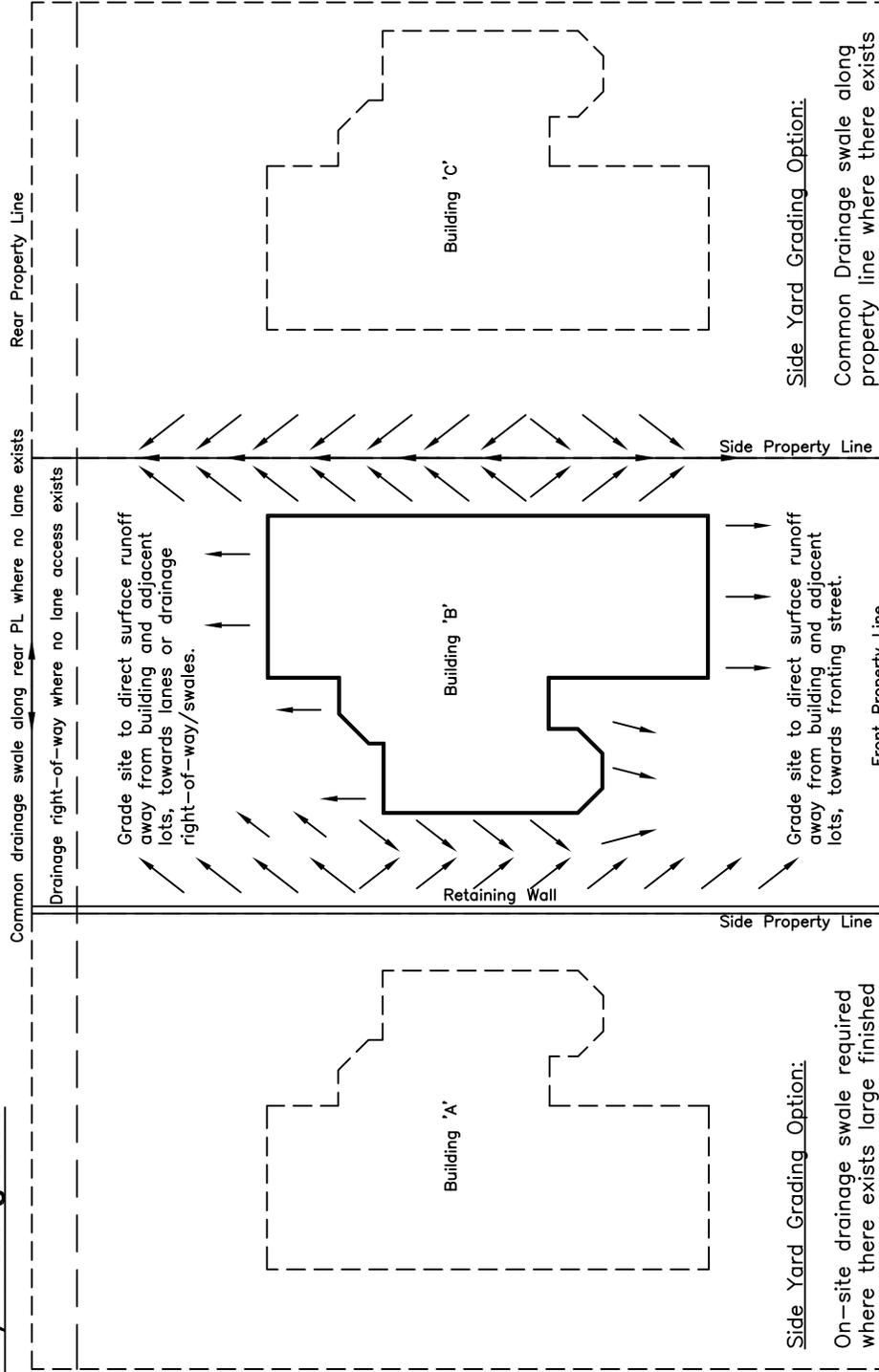
\*COPY TO BE PROVIDED TO BUILDING PERMIT APPLICANT & LOT OWNER.

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**Lot Grading & Leveling Standards-(Typical)  
Single & Semidetached (Duplex) Dwelling Sites**



LANE

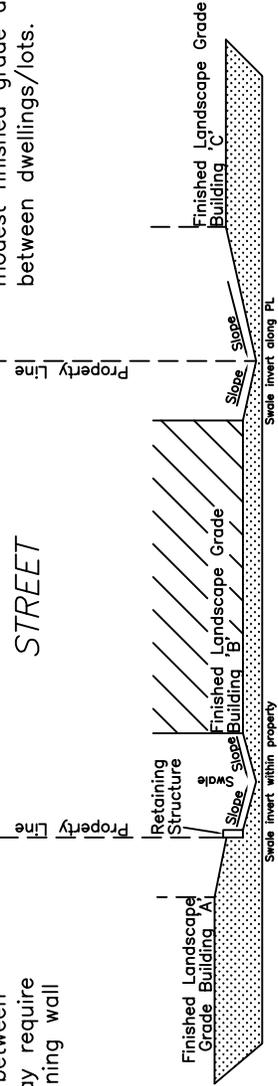


Side Yard Grading Option:

On-site drainage swale required where there exists large finished grade differential between dwellings/lots (may require provision for retaining wall structure)

Side Yard Grading Option:

Common Drainage swale along property line where there exists modest finished grade differential between dwellings/lots.



# CITY OF ESTEVAN - DEVELOPMENT INFO SHEET

## \* Site Access Approach Development

In order to accommodate a new site development, redevelopment or other site changes, it sometimes may be necessary for changes to be undertaken to site access approaches/driveways. Where a new site access approach or modification to an existing site access approach will require alterations to City curbs and/or sidewalks, these works do require the approval of the City of Estevan. The City regulates the development of site access approaches within the public right-of-way in terms of location, sizes, and development standards/specifications.

### Requirements

Property owners are responsible for arranging and paying the associated cost of any changes to curbs and/or sidewalks required for purposes of accommodating a new or modified site access approach.

Property owners are required to contact the City of Estevan Land Development Services to obtain authorization with respect to the location and size of a proposed site access approach. To obtain this authorization, property owners need to submit a site plan showing the proposed location and width of the site access approach relative to their property.

Engineering Services must be contacted with respect to prescribed construction methods, materials and specifications relating to curb cuts, curb and sidewalk construction. All works within the public right-of-way are required to be undertaken by qualified contractors in strict accordance with prescribed construction methods and specifications. Subject to the City's inspection, works that do not conform to City standards and specifications will be required to be removed and replaced at the cost of the property owner.

### Fees

At present, the City does not prescribe a fee to develop or redevelop a site access approach. All associated development costs are however, the sole responsibility of the property owner.

For Further Information, please call the Land Development Services Manager at 634-1821  
Approach Standards and Specifications (within the Public Right-of-Way) may be obtained by contacting the Engineering Services Manager at 634-1823.

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