

**LOT GRADING & LEVELING STANDARDS APPLICABLE TO RESIDENTIAL SINGLE
FAMILY & DUPLEX DWELLINGS**

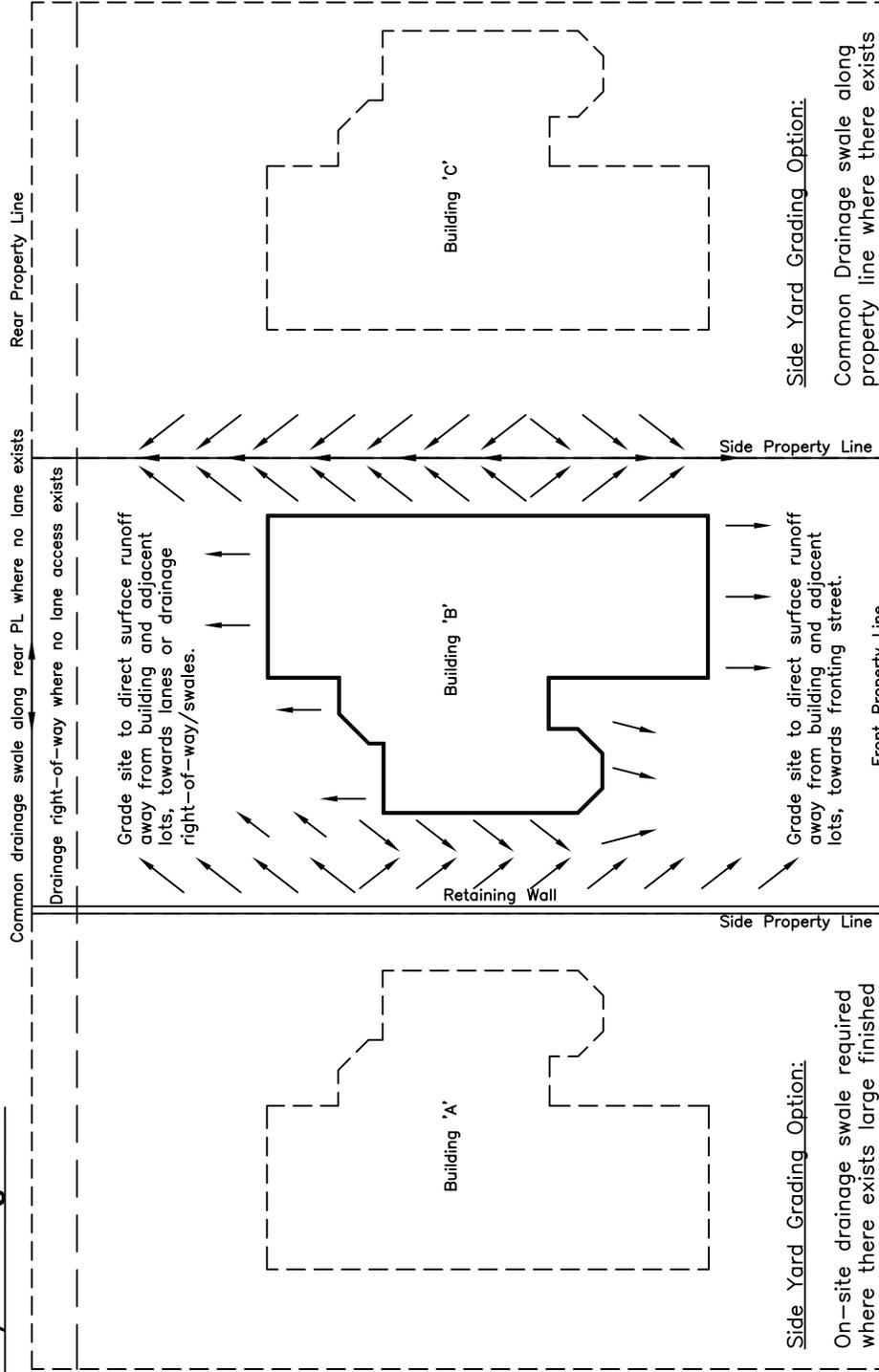
1. All lot developments shall conform to approved finished lot landscaping grade elevation(s) inclusive of the finished landscaping grade around the building foundation, as well as any finished landscaping grades which may be established and/or assigned at the front and rear comers of the lot, or at any other specified location on or along the site.
2. Lot Grading and leveling shall be carried out around the perimeter of the building to provide for a continuous down-slope away from the approved finished landscaping grade at the foundation wall.
3. All intermediate grading between the finished landscaping grade (*at the building foundation*) and the finished landscaping grade (*at the front/rear property line*), shall be carried out so as to provide for continuous surface drainage off the site.
4. The respective Lot owner shall at all times be responsible for maintaining the approved finished lot landscaping grade elevations, and the following shall further apply;
 - 4.1. Lot grading and leveling shall be undertaken so as to provide for surface drainage off the site into adjacent public rights-of-way and/or designated drainage easements, without negatively impacting upon or adversely effecting abutting private property.
 - 4.2. Driveways, walks, steps, patios, fences, and all other such ancillary structures or features shall be so constructed or located so as not to interfere or impede surface drainage off the site.
 - 4.3. Unless otherwise approved by the City, grading and leveling along the side yards of the lot shall be undertaken to provide for a common surface drainage swale extending along the side property lines which directs surface runoff to the front and/or rear of the lot without impacting upon the abutting property (*retaining walls and similar structures are subject to the prior approval of the City*).
5. Where a lot has a surface drainage easement/right-of-way registered thereon, the Lot owner shall ensure that the easement/right-of-way is maintained to assigned grade elevations, and is further kept free and clear of any obstructions which may impede or restrict the flow of surface water.
6. Prior to a final inspection being carried out by the City, the Development proponent/Lot owner shall ensure the lot has been properly graded and leveled to the approved finished lot landscaping grades, and as part of the final inspection to be carried out by the City Building Inspector, the Lot owner shall be responsible for establishing the necessary bench marks on the site in order for the finished lot landscaping grades to be readily determined.

*COPY TO BE PROVIDED TO BUILDING PERMIT APPLICANT & LOT OWNER.

**Lot Grading & Leveling Standards-(Typical)
Single & Semidetached (Duplex) Dwelling Sites**



LANE



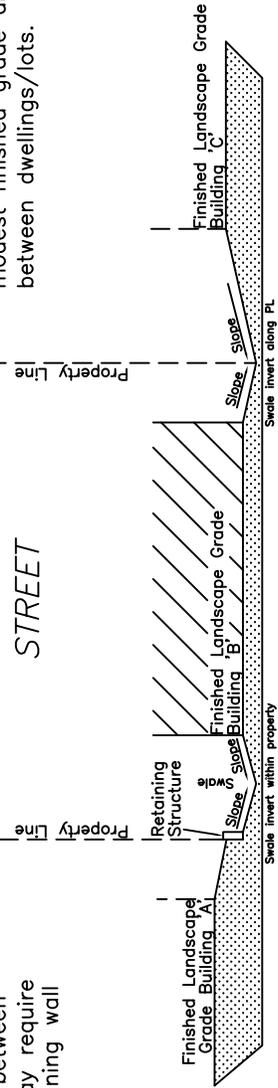
Side Yard Grading Option:

On-site drainage swale required where there exists large finished grade differential between dwellings/lots (may require provision for retaining wall structure)

Side Yard Grading Option:

Common Drainage swale along property line where there exists modest finished grade differential between dwellings/lots.

STREET



Section View (typical)