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## INFORMATIONAL PACKAGE

# ACCESSORY RESIDENTIAL BUILDINGS (INCLUDING DETACHED GARAGES, STORAGE BUILDINGS & WORKSHOPS)

**Prepared By:**  
**City of Estevan**  
**Land Development Services**

## **ACCESSORY BUILDINGS**

### **Application Requirements & Regulatory Standards**

*(Accessory buildings include **Detached Garages, Workshops and Storage sheds**)*

1. All accessory buildings with floor areas greater than 10m<sup>2</sup> require a building permit issued by the City. Accessory buildings less than 10m<sup>2</sup> do not require a building permit, however, the building must comply with the City's zoning requirements as noted in 2 below.
2. The placement of an accessory building on a site is required to comply with the setback/sizing/lot coverage requirements as illustrated on the attached Plan #1. All setback distances are to be measured from the building foundation to legal property lines. The applicant/owner is responsible for verifying all property line/building placement locations, as well as the location or existence of any utilities or easements on the property.
3. Foundation requirements:

-There are no specific foundation requirements for accessory buildings with floor areas less than 50m<sup>2</sup> (538 ft<sup>2</sup>) however, proper considerations must be given to loading, soil conditions, and resistance to wind uplift (*Proponent must provide sufficient details to substantiate the adequacy of the foundation proposed*).

-Foundations for accessory buildings with floor areas exceeding 50m<sup>2</sup> (538 ft<sup>2</sup>) and with roof trusses spans not exceeding 10m (32'-10") may either be constructed in accordance with the City's standard foundation requirement shown in figure #1 or as designed by a Professional Engineer or Architect registered to practice in the Province of Saskatchewan.

-Foundations for Accessory buildings with roof truss spans in excess of 10m (32'-10") must either be constructed in accordance with the City's standard foundation requirement shown in Figure #2 or as designed by a Professional Engineer or Architect registered to practice in the Province of Saskatchewan.

4. Accessory Building Requirements/Limitations

**-Maximum Accessory Building Height**, 4000mm (13'-1"). Measured from finished grade (ground elevation) to point midway between eave and roof ridge.

**-Eave Projection:**

Max. eave width: 450mm (18") with 610mm (24") building setback from Property line.

Max. eave width: 610mm (24") with 762mm (30") building setback from Property line.


**-Roof Drainage:** Eave downspouts shall be positioned, and grading around the building foundation shall be provided to ensure that all roof drainage is being directed off the site without discharging or negatively impacting onto adjacent private property.

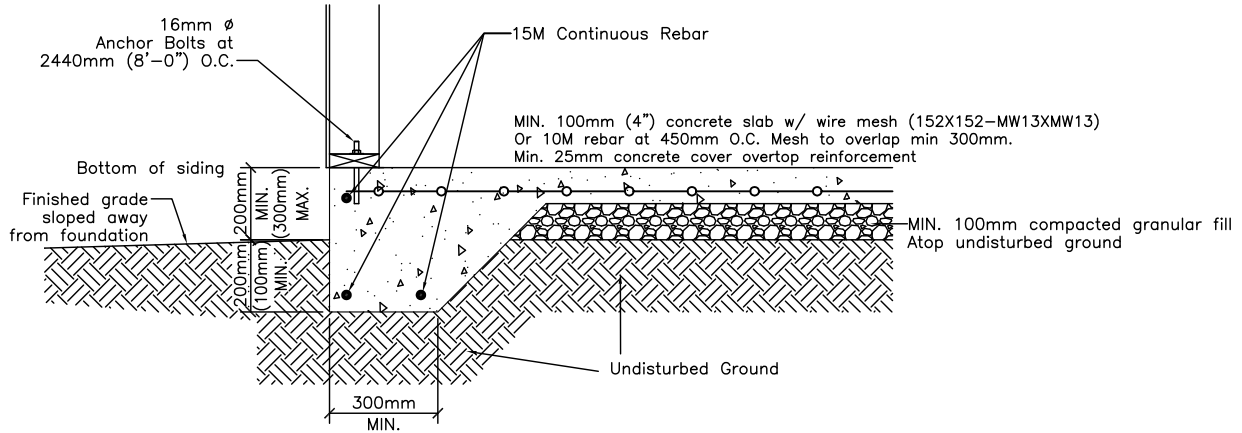
5. A typical wall opening detail is attached for reference.

#### **Building Permit Application Requirements**

1. Please complete, date, and sign a building permit application form. Please include the section identifying the estimated value of construction inclusive of the cost of all building components.
2. Please complete and submit attached Form 1 (with any required attachments).
3. Please prepare and submit an accurate site plan showing existing and proposed building placement on the site [Inclusive of all dimensions]; (*An example site plan identifying what information is required is attached for reference*).


**FIGURE 1 (BUILDING BYLAW-#2004-1662-APENDIX 'E')**

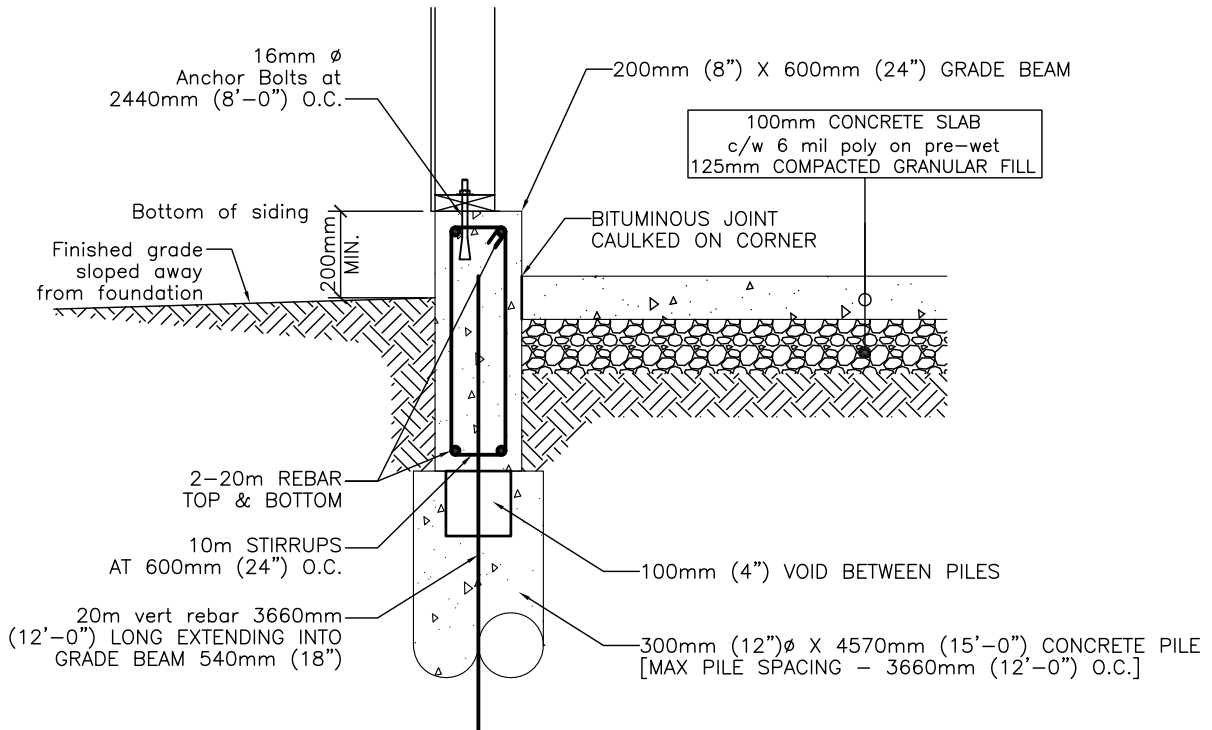

**CITY OF ESTEVAN**  
**SLAB ON GRADE SECTION (TYPICAL)**  
**(APPLICABLE TO ACCESSORY BUILDINGS [ $>50\text{m}^2$  G.F.A.] WITH ROOF TRUSS SPAN NOT EXCEEDING 10m (32'-10"))**



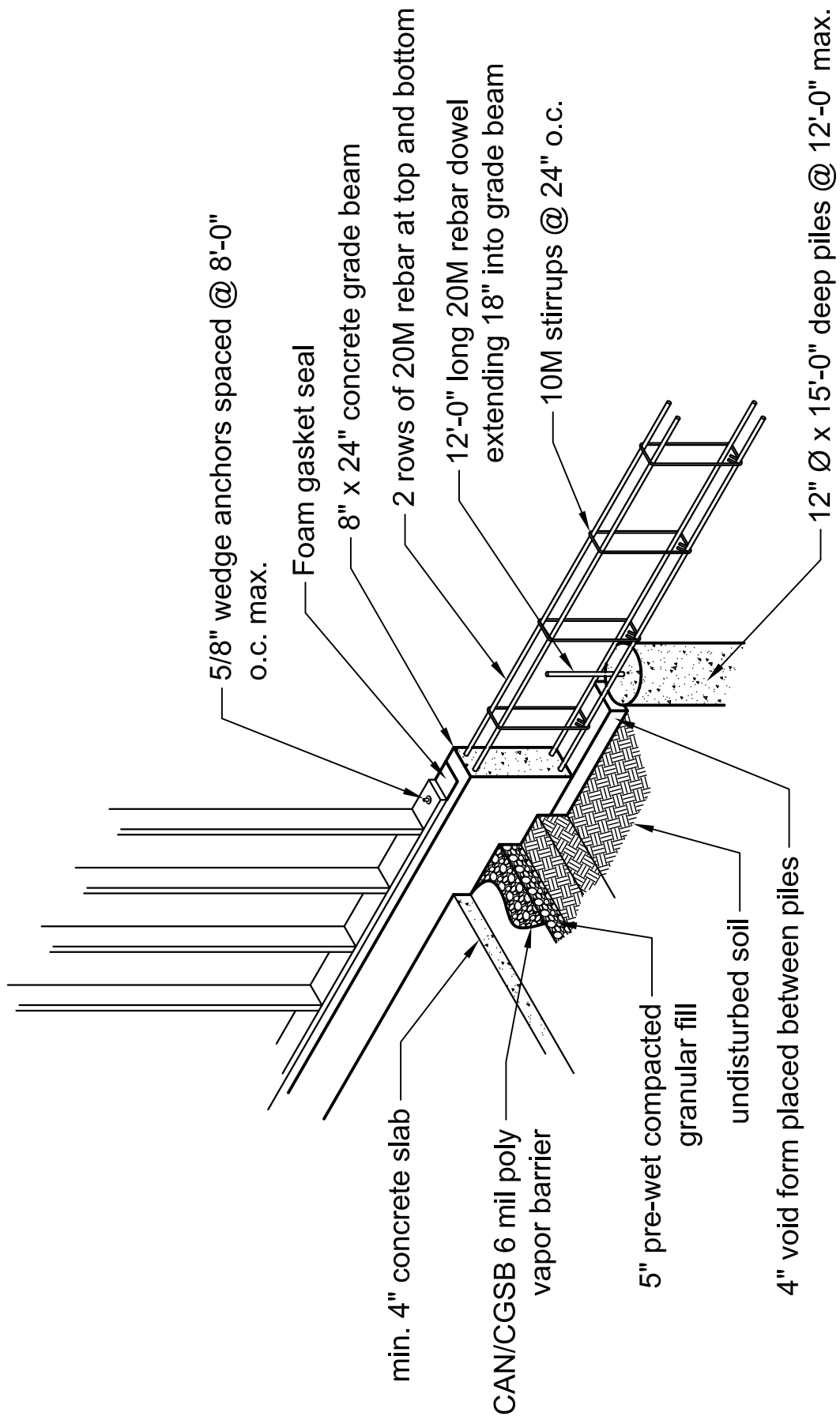
NOTE: CONCRETE TO BE TYPE 50 AT MINIMUM 25MP<sub>a</sub> W/ 5 TO 8% AIR ENTRAINMENT

**FIGURE 2 (BUILDING BYLAW-#2004-1662-APENDIX 'D')**

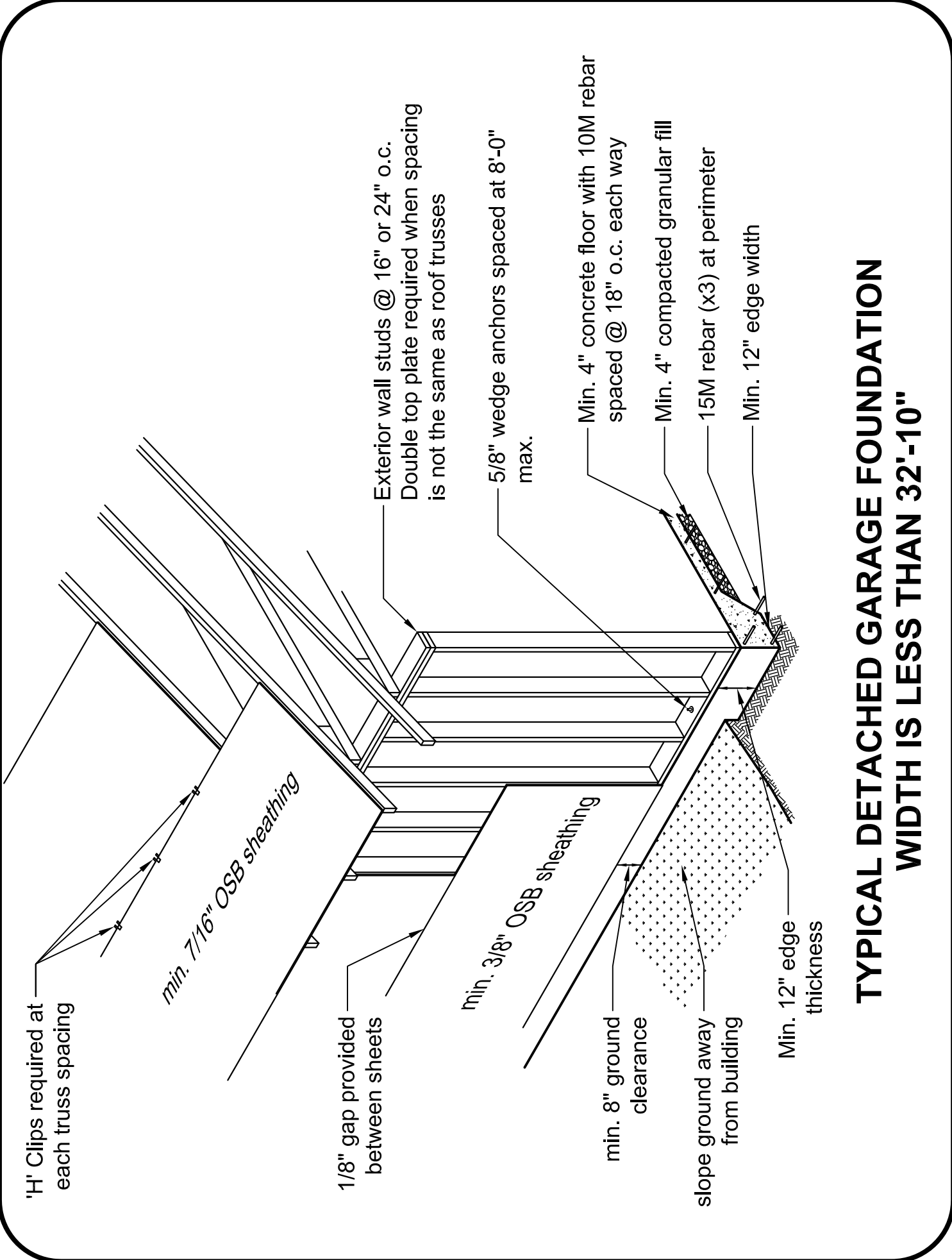

**CITY OF ESTEVAN**  
**PILE & GRADE BEAM (TYPICAL)**  
**(APPLICABLE TO ATTACHED GARAGES & DETACHED ACCESSORY BUILDINGS WITH ROOF TRUSS SPAN EXCEEDING 10m (32'-10"))**



NOTE: CONCRETE TO BE TYPE 50 AT MINIMUM 25MP<sub>a</sub> W/ 5 TO 8% AIR ENTRAINMENT



## TYPICAL ATTACHED GARAGE FOUNDATION AND DETACHED GARAGES WIDER THAN 32'-10"



'H' Clips required at each truss spacing

*min. 7/16" OSB sheathing*

1/8" gap provided between sheets

*min. 3/8" OSB sheathing*

min. 8" ground clearance

slope ground away from building

Min. 12" edge thickness

Exterior wall studs @ 16" or 24" o.c.  
Double top plate required when spacing is not the same as roof trusses

5/8" wedge anchors spaced at 8'-0" max.

Min. 4" concrete floor with 10M rebar spaced @ 18" o.c. each way

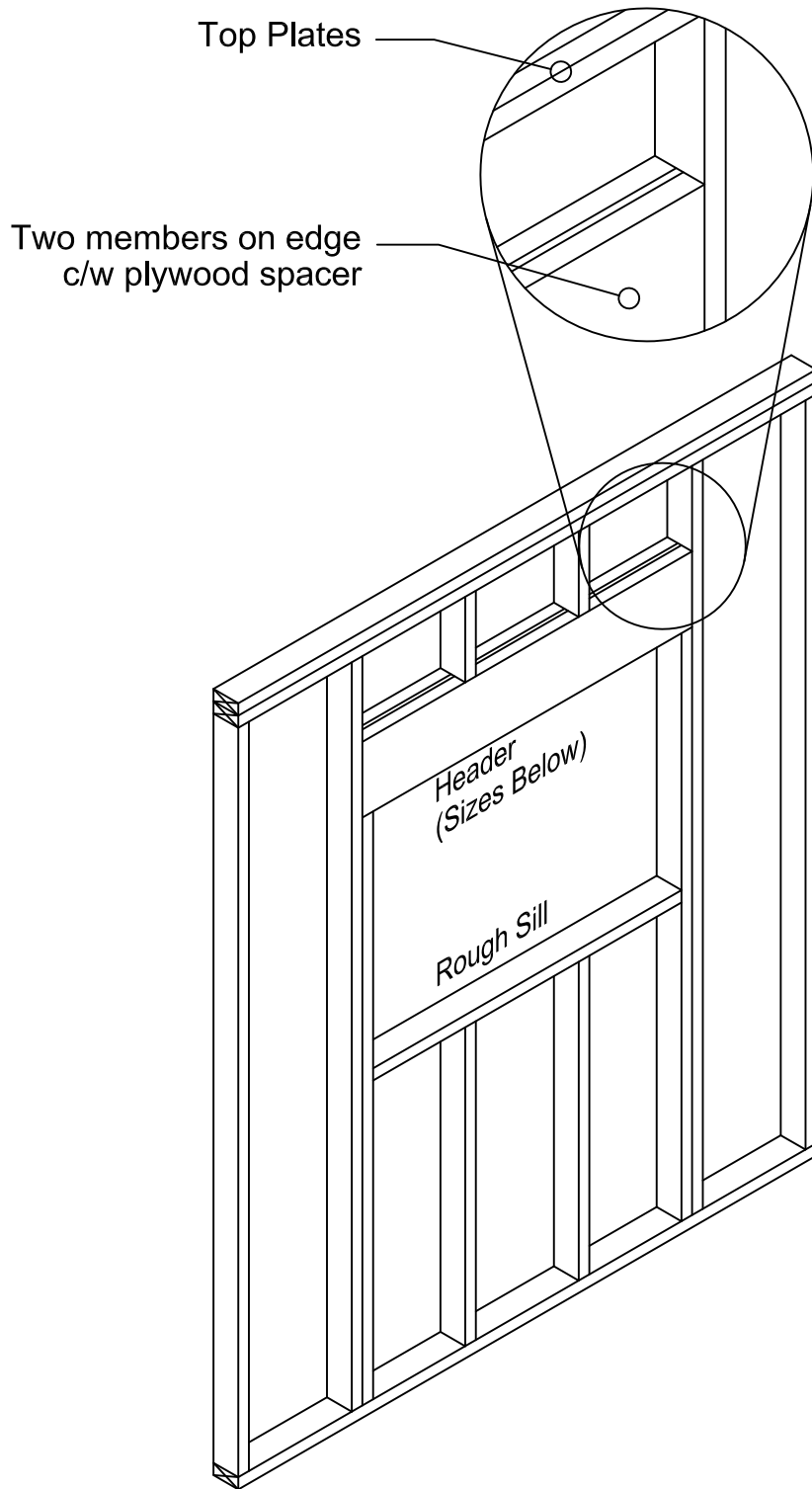
Min. 4" compacted granular fill

15M rebar (x3) at perimeter

Min. 12" edge width

## TYPICAL DETACHED GARAGE FOUNDATION WIDTH IS LESS THAN 32'-10"

# TYPICAL WALL OPENING



## **HEADER SPANS (SUPPORTING A ROOF)**

2 PLY 2X4 ON EDGE	1120mm (3'-8")
2 PLY 2X6 ON EDGE	1680mm (5'-6")
2 PLY 2X8 ON EDGE	2240mm (7'-4")
2 PLY 2X10 ON EDGE	2790mm (9'-2")
2 PLY 2X12 ON EDGE	3350mm (11'-0")

## Requirements for maximum lot coverage and minimum building setbacks from property lines.

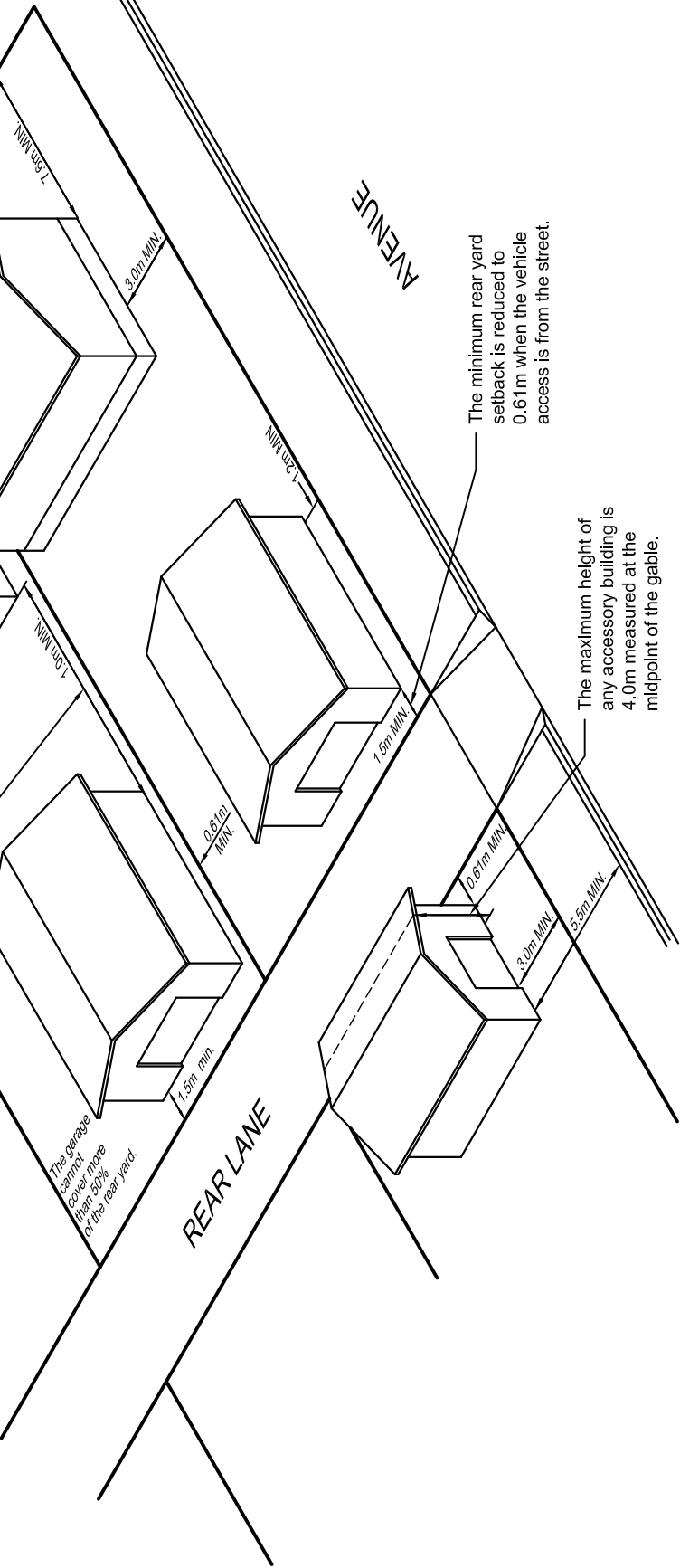
If this distance is greater than 1.83m, the minimum sideyard setback can be reduced from the mandatory 1.2m to 0.61m. In no case shall this distance be less than 1.0m.

The garage cannot cover more than 30% of the rear yard.

REAR LANE

AVENUE

STREET



The minimum rear yard setback is reduced to 0.61m when the vehicle access is from the street.

The maximum height of any accessory building is 4.0m measured at the midpoint of the gable.

The maximum size for any accessory building is 1088 square feet. No accessory building can be more than 10% larger than the principal building (*i.e. residence*) for that lot.

For example, if the house is 80m<sup>2</sup>, the maximum size for the accessory buildings on that lot is 88m<sup>2</sup>.

The total coverage for any lot including principal and accessory buildings is 50% of the lot area. The site triangle restriction is in effect for all accessory buildings.

No accessory building is to be placed within the site triangle defined in the City of Estevan Zoning Bylaw.



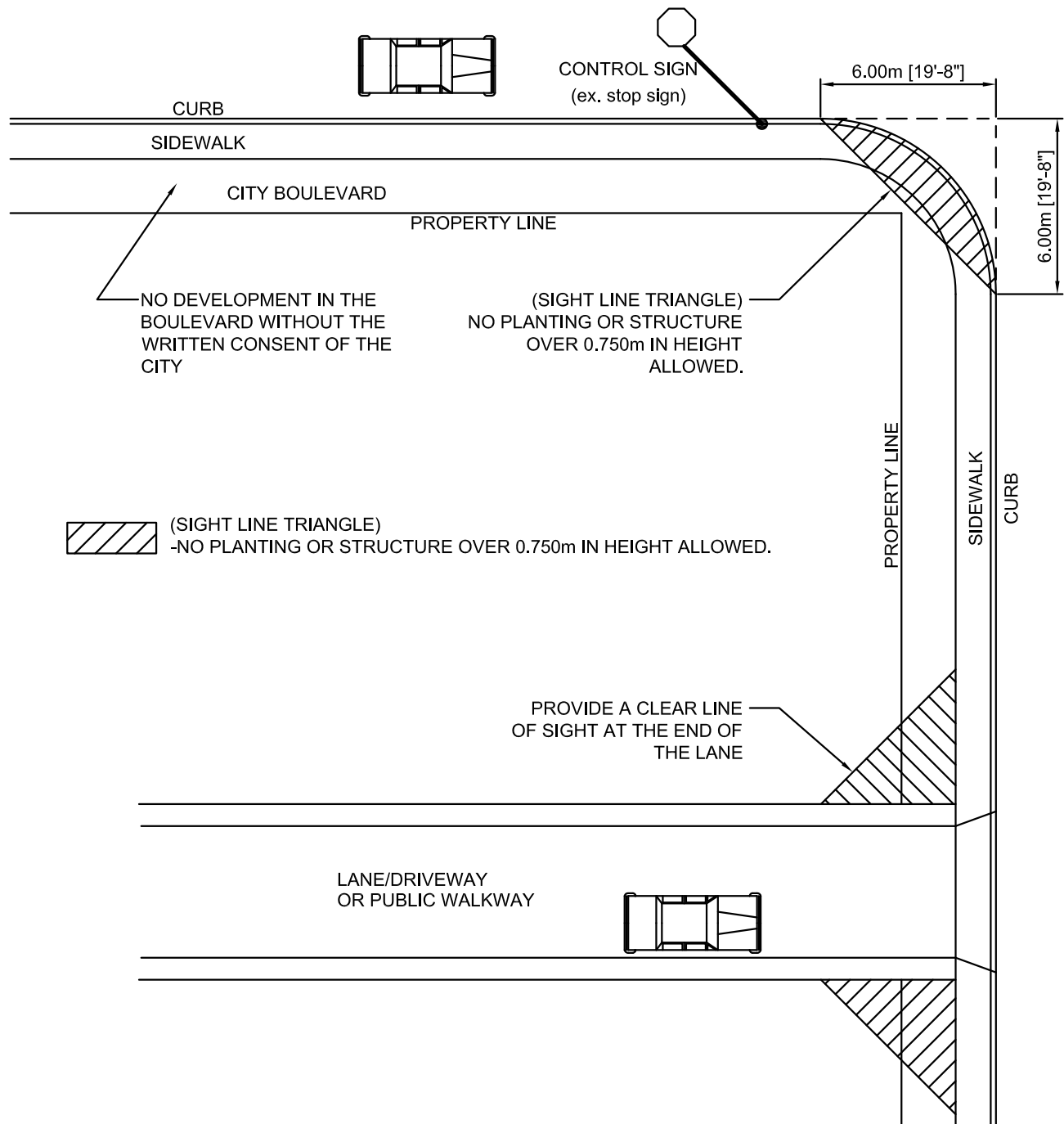
# INTERSECTION SIGHT LINE RESTRICTIONS

Property owners on corner lots are reminded that there is a restricted area, noted on the drawing below, where no plantings or structures (such as fences) higher than 750mm (2'-6") are allowed.

There is also a restriction at alleys, driveways, and walkways.

**PURPOSE:** To provide a clear line of sight for motorists or pedestrians approaching a street intersection or exiting from driveways, walkways or alleys onto the street.

No development in the city boulevard is allowed without the express written consent of Land Development Services.





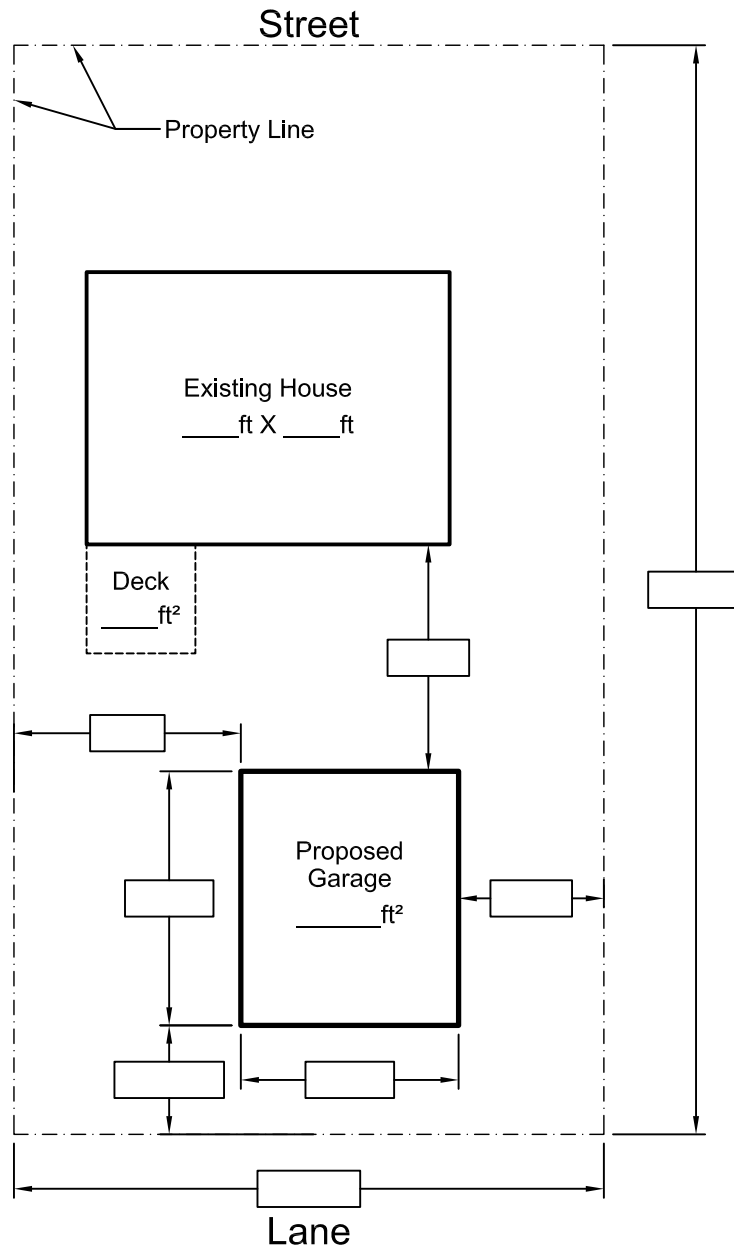
**This is a sample site plan for reference puposes. A site plan is to be submitted with the application and should show the following information.**

1. Lot size (Width & Depth)
2. Existing house size and placement on the site
3. Existing size and placement of other structures (i.e. decks)
4. Proposed setbacks of the accessory building from all structures and propert lines.
5. Vehicle entry point into the building (where applicable)
6. Proposed Accessory building size.

Lot: \_\_\_\_\_ Name: \_\_\_\_\_

Block: \_\_\_\_\_ Civic Address: \_\_\_\_\_

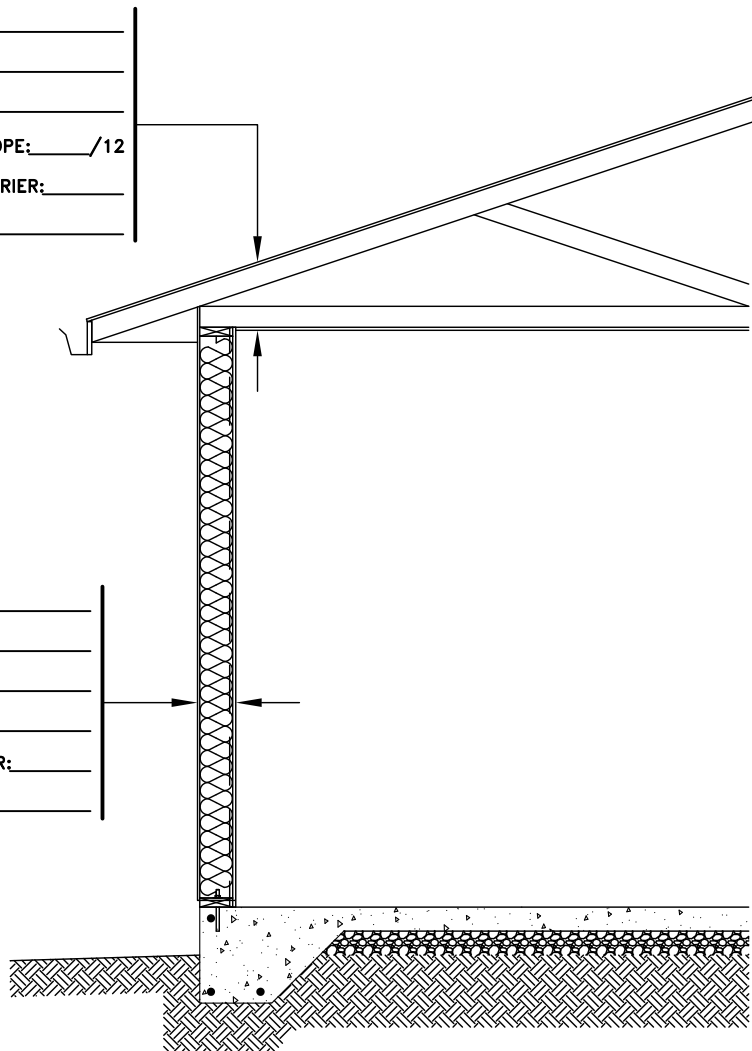
Plan: \_\_\_\_\_



\*IT IS THE RESPONSIBILITY OF THE OWNER TO LOCATE ALL UTILITY LINES AND EASEMENTS



ROOF COVERING: \_\_\_\_\_  
 ROOFING PAPER: \_\_\_\_\_  
 SHEATHING: \_\_\_\_\_  
 TRUSS SPACING: \_\_\_\_\_ SLOPE: \_\_\_\_\_/12  
 INSULATION: R-\_\_\_\_\_ VAPOR BARRIER: \_\_\_\_\_  
 INTERIOR COVERING: \_\_\_\_\_



EXTERIOR FINISH: \_\_\_\_\_  
 EXTERIOR SHEATHING: \_\_\_\_\_  
 BUILDING WRAP: \_\_\_\_\_  
 FRAMING: \_\_\_\_\_ SPACING: \_\_\_\_\_  
 INSULATION: R-\_\_\_\_\_ VAPOR BARRIER: \_\_\_\_\_  
 INTERIOR COVERING: \_\_\_\_\_

STAMP:



**CITY OF ESTEVAN**  
**Land Development Services**

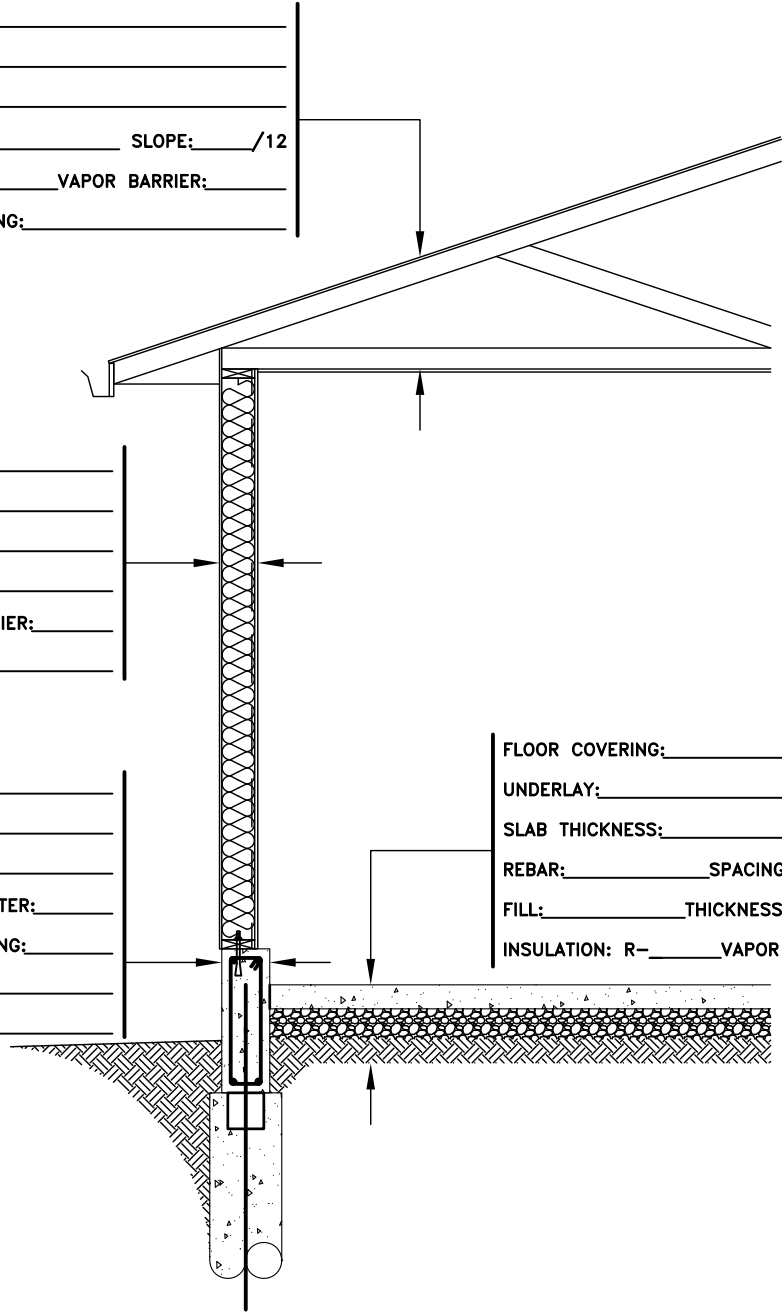
**TYPICAL CROSS SECTION FOR  
 DETACHED BUILDINGS <10m WIDE**

ROOF COVERING: \_\_\_\_\_  
 ROOFING PAPER: \_\_\_\_\_  
 SHEATHING: \_\_\_\_\_  
 TRUSS SPACING: \_\_\_\_\_ SLOPE: \_\_\_\_\_/12  
 INSULATION: R-\_\_\_\_\_ VAPOR BARRIER: \_\_\_\_\_  
 INTERIOR COVERING: \_\_\_\_\_

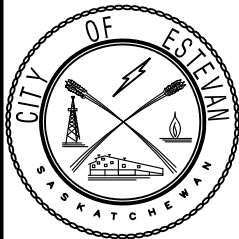
EXTERIOR FINISH: \_\_\_\_\_  
 EXTERIOR SHEATHING: \_\_\_\_\_  
 BUILDING WRAP: \_\_\_\_\_  
 FRAMING: \_\_\_\_\_ SPACING: \_\_\_\_\_  
 INSULATION: R-\_\_\_\_\_ VAPOR BARRIER: \_\_\_\_\_  
 INTERIOR COVERING: \_\_\_\_\_

GRADE BEAM SIZE: \_\_\_\_\_ X \_\_\_\_\_  
 REBAR: \_\_\_\_\_  
 STIRRUPS: \_\_\_\_\_ SPACING: \_\_\_\_\_  
 PILE SPACING: \_\_\_\_\_ DIAMETER: \_\_\_\_\_  
 ANCHOR SIZE: \_\_\_\_\_ SPACING: \_\_\_\_\_  
 INSULATION: \_\_\_\_\_ R-\_\_\_\_\_  
 VAPOR BARRIER: \_\_\_\_\_

FLOOR COVERING: \_\_\_\_\_  
 UNDERLAY: \_\_\_\_\_  
 SLAB THICKNESS: \_\_\_\_\_  
 REBAR: \_\_\_\_\_ SPACING: \_\_\_\_\_  
 FILL: \_\_\_\_\_ THICKNESS: \_\_\_\_\_  
 INSULATION: R-\_\_\_\_\_ VAPOR BARRIER: \_\_\_\_\_



STAMP:



**CITY OF ESTEVAN**  
 Land Development Services

**TYPICAL CROSS SECTION FOR  
 ATTACHED GARAGES AND  
 DETACHED BUILDINGS >10m WIDE**

# IMPORTANT NOTICE

## INSPECTIONS

*Please be advised of the following inspections which the City of Estevan requires to carry out to ensure buildings are constructed in accordance with approved plans and specifications:*

**Foundation Inspection:** Piles, grade beam, slab on grade including reinforcing steel must be inspected before concrete being poured. *(Owner/Contractor is responsible for providing on-site verification of property lines and setbacks).*

**Framing Inspection:** When structure is framed and sheathed.

**Insulation/Vapor Barrier (Where applicable):** Prior to interior boarding.

**Final Inspection:** Upon substantial completion of the structure including all interior and exterior works.

**NOTE: IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO CONTACT THE CITY OF ESTEVAN TO ARRANGE INSPECTIONS AT THE VARIOUS STAGES OF CONSTRUCTION.**

**PLEASE PROVIDE THE CITY OF ESTEVAN A MINIMUM OF 24 HOURS PRIOR NOTICE FOR ANY INSPECTION**

**PLEASE CALL THE CITY BUILDING OFFICIAL 634-1819**

\*Proponents should further contact the respective authorities for any required inspections of heating or electrical works within the building.

\*Proponents are further responsible for contacting respective utility companies concerning the location of any utilities or easements on the site.

# CITY OF ESTEVAN - DEVELOPMENT INFO SHEET

## \* Site Access Approach Development

In order to accommodate a new site development, redevelopment or other site changes, it sometimes may be necessary for changes to be undertaken to site access approaches/driveways. Where a new site access approach or modification to an existing site access approach will require alterations to City curbs and/or sidewalks, these works do require the approval of the City of Estevan. The City regulates the development of site access approaches within the public right-of-way in terms of location, sizes, and development standards/specifications.

### Requirements

Property owners are responsible for arranging and paying the associated cost of any changes to curbs and/or sidewalks required for purposes of accommodating a new or modified site access approach.

Property owners are required to contact the City of Estevan Land Development Services to obtain authorization with respect to the location and size of a proposed site access approach. To obtain this authorization, property owners need to submit a site plan showing the proposed location and width of the site access approach relative to their property.

Engineering Services must be contacted with respect to prescribed construction methods, materials and specifications relating to curb cuts, curb and sidewalk construction. All works within the public right-of-way are required to be undertaken by qualified contractors in strict accordance with prescribed construction methods and specifications. Subject to the City's inspection, works that do not conform to City standards and specifications will be required to be removed and replaced at the cost of the property owner.

### Fees

At present, the City does not prescribe a fee to develop or redevelop a site access approach. All associated development costs are however, the sole responsibility of the property owner.

For Further Information, please call the Land Development Services Manager at 634-1821  
Approach Standards and Specifications (within the Public Right-of-Way) may be obtained by contacting the Engineering Services Manager at 634-1823.